



THE TOWN OF ALBION

211 E. Park Dr. - P.O. Box 27 Albion, Indiana 46701

Telephone (260) 636-2246

Fax (260) 636-2821

Gateway To The Chain O' Lakes State Park

Date: June 16, 2025

What: REQUEST FOR INFORMAL PROPOSALS (RFP) to PURCHASE REAL PROPERTY

Where: Town-owned building located at 110 S. Orange Street, Albion IN 46701

INTRODUCTION to this RFP

This is an exploratory solicitation by the Town to seek out creative ideas in the form of a non-binding proposal and gauge specific investment interest that might exist to address the next use for this vacant "historic" building (not listed on the National Register of Historic Places). A submitted proposal is not considered a binding offer to purchase or lease real estate. If the Town is interested in pursuing a submitted proposal, the Town will initiate a more formal bidding process to insure legalities are met and the proposal of interest would have to be re-submitted under terms of the official RFP at that time. A proposal containing alternate proposals with alternate pricing within it is also acceptable.

1. Description of Real Property to be Purchased

The real property that the Town is interested in to be purchased consists of a 1-story brick/masonry building of approximately 2,288 sq.ft. with a basement on the east side of S.R. 9 in Albion, IN at 110 S. Orange Street (designated by Noble County Tax Parcel #57-13-19-400-352.001-002) which is zoned CS – Commercial Courthouse Square. The building is approximately 2,288 sq.ft. above grade with 44 ft frontage on Orange St and 52 ft deep. The current lot is 44 ft frontage by 132 ft deep, however it is LIKELY going to be divided in half with the Town retaining ownership of the eastern 66 ft of the site and the western 66 ft will be retained with the building sale. Additionally, the northwestern 20 ft frontage by 66 ft depth of the bordering lot to the south (designated by Noble County Tax Parcel #57-13-19-400-353.000-002) is to be added to this parcel as part of the sale.

The LIKELY resultant proposed lot to be conveyed WOULD BE 64 ft frontage on Orange St by 66 ft deep, as depicted on the **ATTACHED Proposed Site Plan labeled Exhibit "A"**. The resultant lot allows the current handicap accessible ramp entrance to remain with the building and provides an approximate 4 ft landing pad. Additionally, this new lot dimension allows approximately 14 ft of land behind the building to its East for the placement of trash receptacles and the potential space for diagonal parking lanes.

2. Property Goals

The Town is interested in receiving a variety of creative proposals for the use and ideally new ownership of this property. In general, the Town hopes to derive future real estate property tax revenue from a commercial use of the building that will enhance its overall condition and appearance while supporting the creation of new jobs and provide a complementary business downtown. However, other non-commercial proposals, such as from non-profits, associations or historical groups are encouraged to apply as well.

3. Submission of Proposals

3.1 Written proposals may be submitted by mail or in person or via email to:

Stephen Gunty – Town Manager

211 E. Park Dr. - P.O. Box 27

Albion, IN 46701

Email: albiontownmanager@yahoo.com

3.2 Deadline for Submission

- There is no hard deadline as this is an informal RFP solicitation with no obligation on the part of the Town or the submitter to consummate a real estate transaction. In the interest of time however, proposals will be most appreciated if in hand by 12:00 p.m. (noon) Friday August 22, 2025 so results can be summarized and any received proposals sent to the Council ahead of the weekend. The first public discussion of the received proposals will be at the Tuesday August 26, 2025 Town Council. Any proposal however received by 6:00pm the night of the Town Council meeting will also be considered as well as any proposals received after that date.

3.3 Form of Submission

- All of the following bullet points are suggested information to be included in the Proposal for sake of clarity in helping the Town Council clearly understand all elements of each proposal.
- Sealed envelopes are not required due to the informality of this RFP and emailed proposals are acceptable. However, it will be mutually beneficial in terms of being readily identifiable if a proposal is clearly labeled, such as "Proposal for 110 S. Orange St.".
- Complete contact info of the submitter, to include:
 - name of submitter, address, phone number, and email address. IF an entity, also include:
 - entity's name, Fed & State ID number, address, telephone number, name & title of person authorized to submit/sign the proposal, signed cover letter on company letterhead.
- A detailed conceptual plan describing:
 - the intended business use of the property.
 - # of employees anticipated.
 - development plans & improvements to be made to the property.
 - a description of how the development complements and interacts with surrounding area.
 - project budget.
 - proposed timeline for the development of the property, including any conditions that must be met before the proposal can be commenced. The schedule should include:
 - Time needed to obtain financing.
 - Land use approvals.
 - Design completion.
 - Site preparation.
 - Start and completion of remodeling/construction.
- The price to be paid for the purchase of the property.
- An optional financial statement that is specific enough so that a proper determination can be made of the entity's or individual's financial capability to fulfill the obligation of the proposal.

3.4 A submitting entity may modify or withdraw their proposal at any time prior to or after its opening. If the Town shows interest in any proposal, terms of it are likely to be negotiated. As stated in the INTRODUCTION, "If the Town is interested in pursuing a submitted proposal, the Town will initiate a more formal bidding process to insure legalities are met and the proposal of interest would have to be re-submitted under terms of the official RFP at that time".

3.5 As proposals are received by the Town Manager, they will be distributed to the Town Council and key Town Staff and taken under advisement. There is no set deadline for Town action in this matter however a period of up to sixty (60) days prior to official action on its next steps is viewed likely. Proposals shall be maintained in the Clerk-Treasurer's Office through the evaluation period and become the property of the Town but are a matter of public record.

3.6 The Town of Albion is not responsible for late or lost proposals due to mail service inadequacies.

4. Terms or Conditions to be Addressed or Accepted by Proposal

4.1 The property if sold will likely be sold "as is". Therefore any proposal to purchase will be viewed most favorably if it is for the Subject Real Estate in its present condition. **Labeled Exhibit "B", the ATTACHED comprehensive Property Inspection Report** dated 11/4/24 was performed by Bortner Home Inspections LLC of Kendallville, IN (260) 466-7069 bortnerhomeinspections@gmail.com and is supplied for your benefit courtesy of Matt Bortner.

4.2 Any sale of the property will be conditioned on the performance of the development plan described in the proposal. A proposal may be conditioned upon the Town of Albion granting specific itemized zoning variances or rezoning.

4.3 The successful proposal (eventually after being negotiated to its final form) must hold the Town of Albion harmless from any loss, claim, damage, or expense arising from the development and/or use of the Subject Real Estate.

4.4 The mural on the South side of the building is removable but to remain in ownership of its creator the STAR Team - the Town's Main Street America affiliated downtown development group. Your proposal may choose to keep it on display where it is with an open-ended no-cost lease or use agreement that the Town will arrange that will include STAR Team maintenance responsibility for it and removal by Town arrangement with the STAR Team in the future should either party wish removal upon 90-day notice.

5. Use of Subject Real Estate

5.1 The proposed development must be rehabilitated or constructed in compliance with all applicable laws and regulations of any regulatory government entity or public authority with oversight authority, including Indiana Building Code, Town of Albion Ordinances, Policies, and Standards, including Zoning Ordinances, Subdivision Standards, Landscaping Ordinances, Construction Site Stormwater Runoff Control Ordinances, and Post Construction Stormwater Management Ordinances, as applicable.

5.2 Purchaser must not use the Subject Real Estate and any adjacent area in a manner that would be reasonably offensive to the owners or users of neighboring real estate or would tend to create a nuisance.

6. Purchase Agreement

The successful person or entity submitting a proposal, if for the purchase of the property, will eventually be required to enter into a Purchase Agreement incorporating the terms of the RFP or its negotiated final form and other provisions deemed appropriate by the Town Council.

7. Requests for Clarifications and Addenda

7.1 Those intending to submit proposals with questions or are interested in touring the site should contact Stephen Gunty, Town Manager via phone 260-636-2246 or email: albiontownmanager@yahoo.com

7.2 All requests for clarification to this solicitation are preferred in writing via email if particularly complicated to Stephen Gunty, Town Manager via the contact info in Sect 3.1 or by phone shown above.

7.3 Any helpful interpretations or clarifications needed will be issued by addenda mailed, emailed or otherwise delivered to all parties recorded by the Town as having received the proposal documents.

8. Selection Process and Schedule

8.1 The first public discussion of the received proposals will be at the Tuesday August 26, 2025 Town Council Meeting commencing at 6:00 p.m. in the Albion Municipal Building Town Council Room at 211 East park Drive, Albion IN 46701. The received proposals will not be read in entirety but may be summarized by the Town Council President or designee. The intent of this first meeting will be to gauge Council interest in ideas generated by the proposals. If a single proposal is selected as "one of interest", the proposer will be contacted to begin more deliberate discussions about it.

8.2 It's envisioned that all proposals will be taken under advisement likely for a period of up to sixty (60) days for further study & consideration by the Albion Town Council whom may refer the proposals received to the Public Works Committee or Town Manager and other staff as the Town Council deems appropriate to review aspects of or the entire proposals and make recommendations back to the Public Works Committee and/or the Town Council. The Town Council may wish to interview the parties submitting proposals and/or to request the parties submitting proposals to provide supplemental information.

8.3 This RFP does not commit the Town Council to sell the Subject Real Property. The Town Council reserves the right to accept or reject any or all proposals received, to negotiate with qualified persons or entities who submit a proposal, or to cancel the RFP.

8.4 To determine which proposal is the best proposal, the Town Council among other review criteria of its choice may also consider the following:

- The experience, financial & organizational capacity of the person or entity submitting the proposal to successfully plan, construct and complete the proposed development.
- The overall quality of the submission and the extent to which the proposed development is compatible with the existing area and proposed future development.
- The entity's plans and ability to improve the Subject Real Property with reasonable promptness.
- The proposed purchase price to be paid to the Town.
- The overall impact (economic & otherwise) and how the project serves the Town's best interests.

9. General

9.1 Conflict of Interest/Non-Collusion: By submitting a proposal, an individual or entity certifies that it has not entered into an agreement relative to the price to be proposed nor taken any action to prevent a person from submitting a proposal; or to induce a person to refrain from submitting a proposal.

9.2 Each proposal must be made without reference to any other proposal, unless so indicated.

9.3 When submitting a proposal, an entity should certify that they are not in a situation where the submitting entity's private interest would interfere with its loyalty or responsibilities to the Town of Albion or raise questions about such interference.

9.4 If a submitted proposal, after negotiation and modification is eventually awarded through a competitive bid process, then that submitting entity, must sign and have notarized a Conflict of Interest / Non-Collusion Affidavit required by the State.

9.5 Applicable Laws: Any contract resulting from a proposal submitted will be construed in accordance with and governed by the laws of the State of Indiana.

9.6 Costs for Submitting Proposal: The Town of Albion will not be liable for any costs incurred by the respondents in replying to this RFP. The Town of Albion is not liable for any costs for work or services performed by the selected Proposer prior to the award of a contract.

9.7 Authority to Submit Proposal: The signatory for the entity submitting a proposal represents that he or she has been duly authorized to submit the proposal documents on behalf of the submitting entity.

ATTACHMENTS

Exhibit "A" - Proposed Site Plan

Exhibit "B" - Property Inspection Report

- (dated 11/4/24 by Bortner Home Inspections LLC of Kendallville, IN)
- (260) 466-7069 bortnerhomeinspections@gmail.com

EXHIBIT "A"

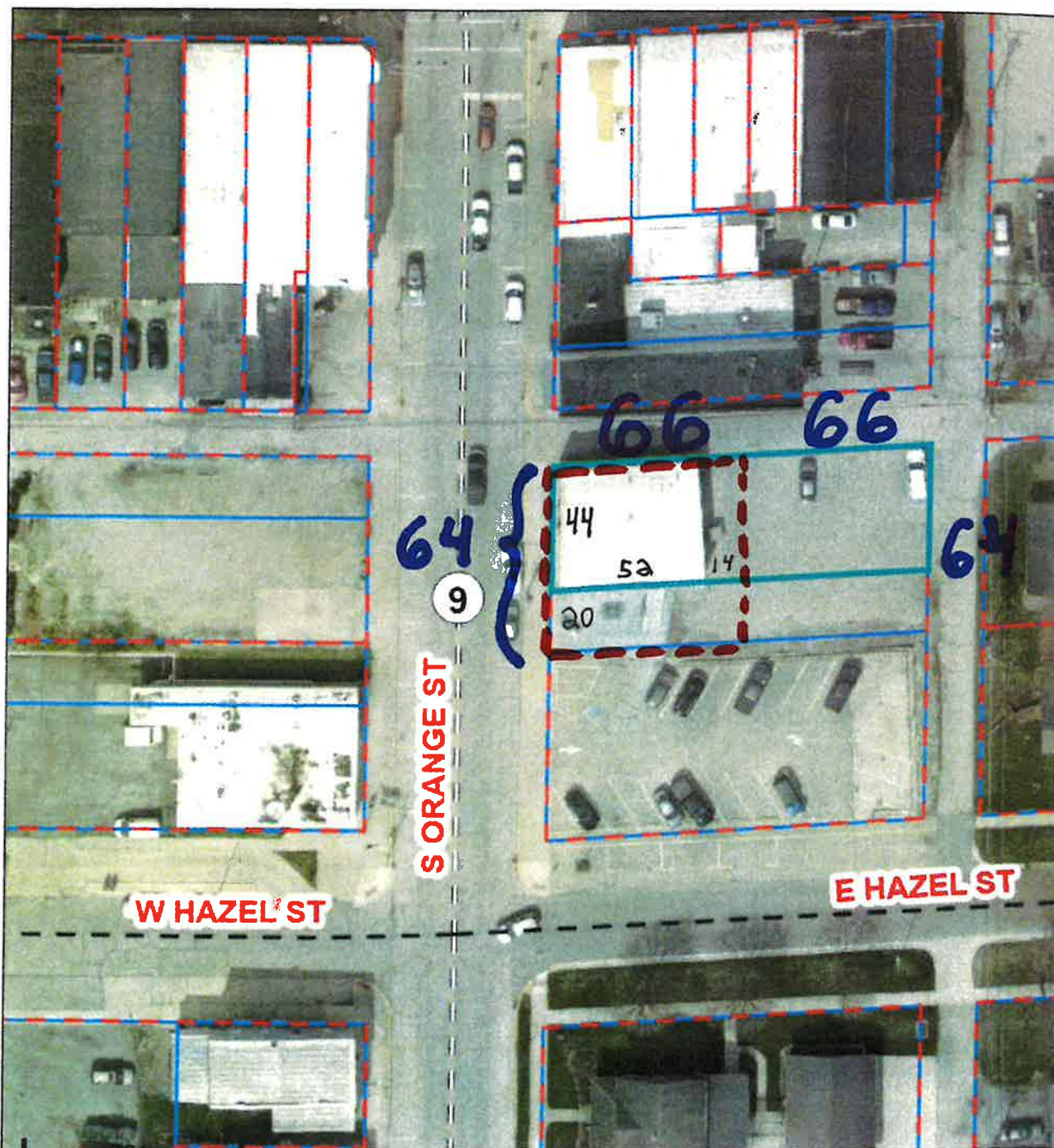
PROPOSED SITE PLAN

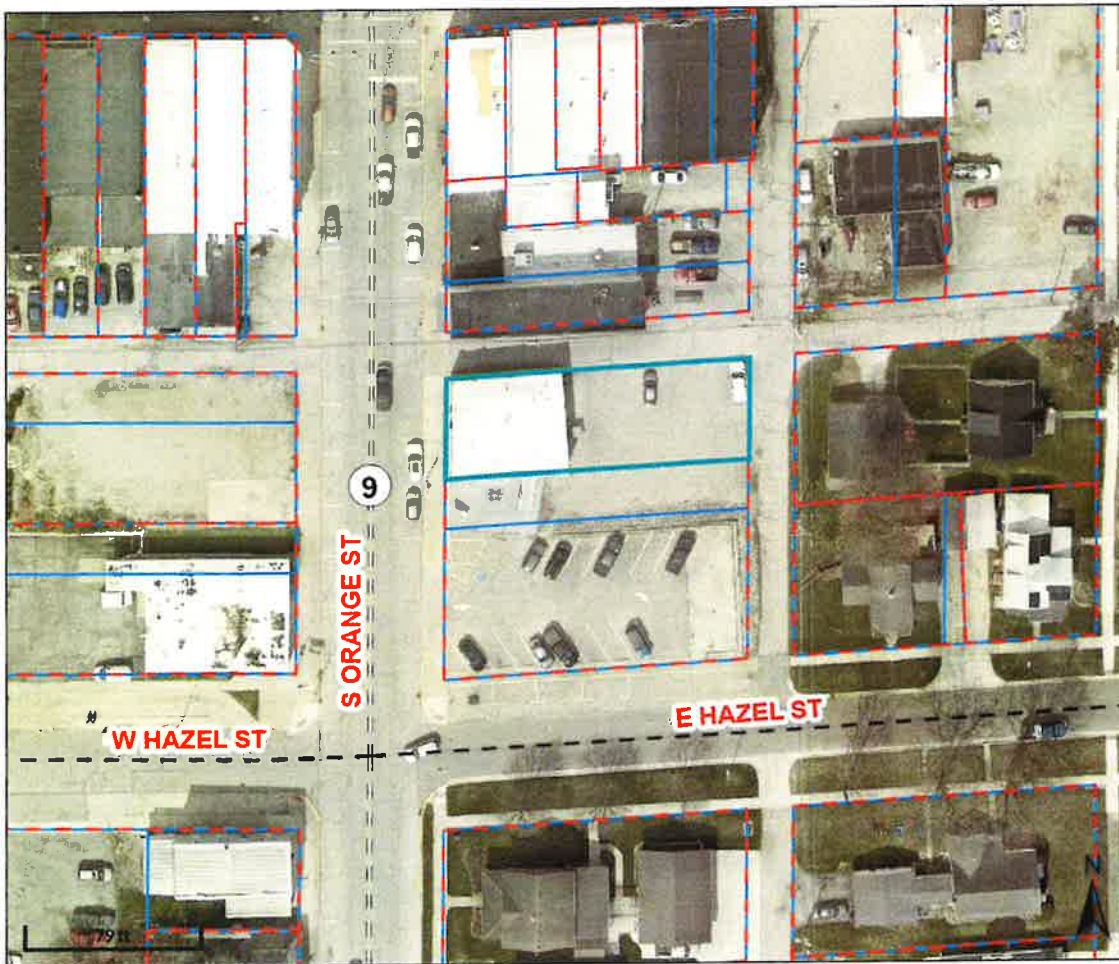
64' FF x 66' DEEP



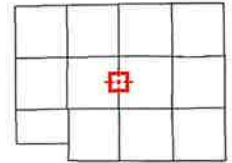
BeaconTM

Noble County, IN





Overview



Legend

Street Centerlines

- US STATE
- STATE
- COUNTY
- - COUNTY NONMAINTAINED
- MUNICIPAL
- ADJACENT COUNTY ROADS

Hwy Shields

- Land Hooks

Parcel Numbers (Assessor)

- ▭ Parcels (Assessor)
- ▭ Parcels (Surveyor)
- Railroads
- ▭ Corporate Limits
- ▭ Township Boundaries

Parcel ID	57-13-19-400-016.000-002	Alternate ID	014-100788-00	Owner Address	Town Of Albion
Sec/Twp/Rng	0019-0034-10				P O Box 27
Property Address	500 E MAIN ST	Class	EXEMPT PROPERTY OWNED BY A MUNICIPALITY		Albion, IN 46701
District	ALBION	Acreage	0.000		
Brief Tax Description	57002 Albion Town Tiffin Add Lt 1 (400-016) Tiffin Add Lt 2 (400-017) Tiffin Add Lt 3 (400-018) Harveys Add 44' N Side Lt 11; (400-352) Dennys Add Lt 6 & E 1/2 Vac Orchard St Ex 8' x 38' Nw Cor of 20' Wide Strip (400-008) Dennys Add 10 1/2' E Side Lt 1 (400-001) (
	(Note: Not to be used on legal documents)				

Date created: 5/29/2025
 Last Data Uploaded: 5/29/2025 3:19:45 AM

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 GEOSPATIAL

EXHIBIT "B"

Bortner Home Inspections, LLC

bortnerhomeinspections@gmail.com

(260) 466-7069

Inspector: Matt Bortner

License #: HI01000007



Property Inspection Report

Client(s): **Melanie Kellog**

Property address: **110 S Orange St
Albion, IN 46701**

Inspection date: **Monday, November 4, 2024**

This report published on Tuesday, November 5, 2024 4:34:54 PM EST

This report is the exclusive property of this inspection company and the client(s) listed in the report title. Use of this report by any unauthorized persons is prohibited.

How to Read this Report

This report is organized by the property's functional areas. Within each functional area, descriptive information is listed first and is shown in bold type. Items of concern follow descriptive information. Concerns are shown and sorted according to these types:

Safety	Poses a risk of injury or death
Repair/Replace	Recommend repairing or replacing
Repair/Maintain	Recommend repair and/or maintenance
Maintain	Recommend ongoing maintenance
Evaluate	Recommend evaluation by a specialist
Monitor	Recommend monitoring in the future
Comment	For your information

Contact your inspector if there are terms that you do not understand, or visit the glossary of construction terms at <https://www.reporthost.com/glossary.asp>

General Information

Present during inspection: Client

Weather conditions during inspection: Rain

Ground condition: Wet

Recent weather: Dry (no rain)

Payment method: Invoiced

Type of building: Commercial

Occupied: Yes, Furniture or stored items were present

1) Comment - Some areas and items at this property were obscured by furniture and/or stored items. This often includes but is not limited to walls, floors, windows, inside and under cabinets, under sinks, on counter tops, in closets, behind window coverings, under rugs or carpets, and under or behind furniture. Areas around the exterior, under the structure, in the garage and in the attic may also be obscured by stored items. The inspector in general does not move personal belongings, furnishings, carpets or appliances. When furnishings, stored items or debris are present, all areas or items that are obscured, concealed or not readily accessible are excluded from the inspection. The client should be aware that when furnishings, stored items or debris are eventually moved, damage or problems that were not noted during the inspection may be found.

2) Comment - Please note that this home inspection report does not include a comprehensive assessment or inspection for mold. It is important to understand that mold can be present in areas not readily visible or accessible during the inspection. Mold inspections require specialized testing and analysis by qualified professionals. Therefore, it is recommended that you consult with a certified mold inspector or remediation specialist if you have concerns about mold presence in the property. This inspection report should not be considered a substitute for a mold-specific assessment.

Grounds

Limitations: Unless specifically included in the inspection, the following items and any related equipment, controls, electric systems and/or plumbing systems are excluded from this inspection: detached buildings or structures; fences and gates; retaining walls; underground drainage systems, catch basins or concealed sump pumps; swimming pools and related safety equipment, spas, hot tubs or saunas; whether deck, balcony and/or stair membranes are watertight; trees, landscaping, properties of soil, soil stability, erosion and erosion control; ponds, water features, irrigation or yard sprinkler systems; sport courts, playground, recreation or leisure equipment; areas below the exterior structures with less than 3 feet of vertical clearance; invisible fencing; sea walls, docks and boathouses; retractable awnings. Any comments made regarding these items are as a courtesy only.

Site profile: Minor slope

Condition of driveway: Appeared serviceable

Driveway material: Asphalt, Gravel

Condition of sidewalks and/or patios: Required repairs, replacement and/or evaluation (see comments below)

3) Repair/Maintain - Cracks, holes, settlement, heaving and/or deterioration were found in sidewalks and/or patios. Recommend that qualified contractor repair as necessary.



Photo 3-1



Photo 3-2



Photo 3-3



Photo 3-4



Photo 3-5



Photo 3-6



Photo 3-7



Photo 3-8

Exterior and Foundation

Limitations: The inspector performs a visual inspection of accessible components or systems at the exterior. Items excluded from this inspection include below-grade foundation walls and footings; foundations, exterior surfaces or components obscured by vegetation, stored items or debris; wall structures obscured by coverings such as siding or trim. Some items such as siding, trim, soffits, vents and windows are often high off the ground, and may be viewed using binoculars from the ground or from a ladder. This may limit a full evaluation. Regarding foundations, some amount of cracking is normal in concrete slabs and foundation walls due to shrinkage and drying. Note that the inspector does not determine the adequacy of seismic reinforcement.

Wall inspection method: Viewed from ground

Condition of wall exterior covering: Required repairs, replacement and/or evaluation (see comments below)

Apparent wall structure: Brick

Condition of foundation and footings: Required repairs, replacement and/or evaluation (see comments below)

Apparent foundation type: Finished basement

Foundation/stem wall material: Poured in place concrete

4) Repair/Replace, Evaluate - The masonry (brick or stone) veneer was deteriorated or damaged in many areas. Where cracks or openings are exposed, water may enter the wall structure causing mold, fungal growth and structural damage. This is a conducive condition for wood-destroying organisms. Recommend that a qualified contractor repair as necessary. For example, by repointing mortar or replacing broken or missing masonry.



Photo 4-1



Photo 4-2



Photo 4-3



Photo 4-4



Photo 4-5



Photo 4-6

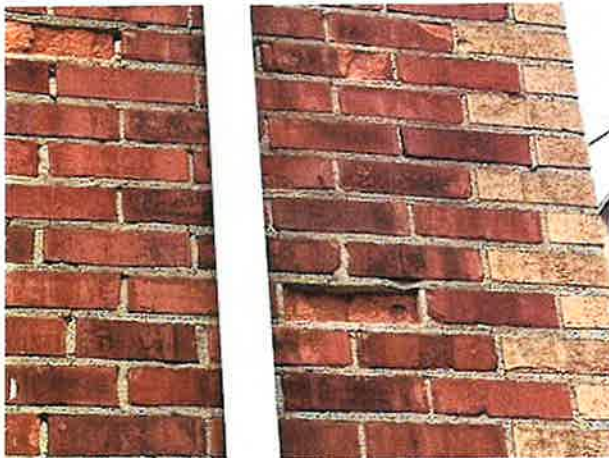


Photo 4-7



Photo 4-8



Photo 4-9



Photo 4-10



Photo 4-11

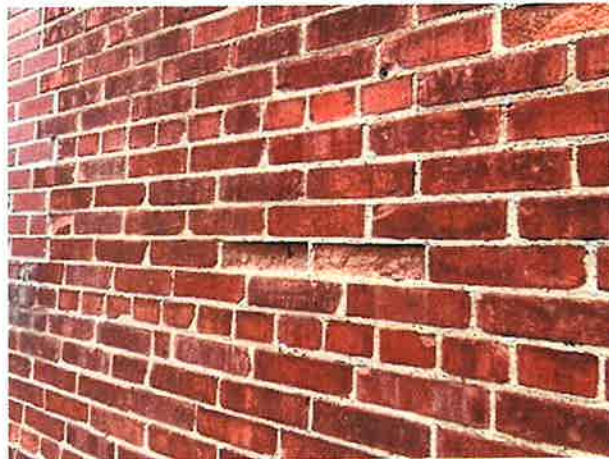


Photo 4-12



Photo 4-13



Photo 4-14



Photo 4-15



Photo 4-16

5) **Repair/Maintain, Evaluate, Monitor** - Moderate cracks (1/8 inch - 3/4 inch) were found in the foundation. Cracks should be monitored for future deterioration, especially if water intrusion occurs through them.



Photo 5-1



Photo 5-2

6) **Repair/Maintain, Evaluate** - The parging (decorative coating) on one or more foundation walls was damaged or deteriorated. A qualified person should evaluate and make repairs if necessary to ensure this is in fact parge coat and not foundation cracks.



Photo 6-1

7) Repair/Maintain, Monitor - Observed rust/corrosion on the lintel above the opening. The corrosion may weaken the structural integrity over time, leading to potential issues with load support. Recommend cleaning and treating the lintel with rust-inhibiting paint, and if deterioration is extensive, consult a qualified professional for repair or replacement to prevent further degradation



Photo 7-1



Photo 7-2

8) Evaluate - Any past repairs or patching to the foundation walls should be disclosed to the buyer. These repairs could indicate previous issues with moisture intrusion, structural concerns, or other conditions that warranted corrective action. Proper disclosure allows the buyer to assess the quality and extent of repairs and to consider any potential need for future maintenance or monitoring



Photo 8-1



Photo 8-2



Photo 8-3



Photo 8-4

Basement

Limitations: Structural components such as joists and beams, and other components such as piping, wiring and/or ducting that are obscured by under-floor insulation are also excluded from this inspection. Note that the inspector does not determine if support posts, columns, beams, joists, studs, trusses, etc. are of adequate size, spanning or spacing.

The inspector does not guarantee or warrant that water will not accumulate in the basement in the future. Access to the basement during all seasons and during prolonged periods of all types of weather conditions (e.g. heavy rain, melting snow) would be needed to do so. The inspector does not determine the adequacy of basement floor or stairwell drains, or determine if such drains are clear or clogged.

Note that all basement areas should be checked periodically for water intrusion, plumbing leaks and pest activity.

Condition of floor substructure above: Appeared serviceable

Pier or support post material: Concrete block

9) Safety, Repair/Replace - Guardrails at one or more locations with drop-offs higher than 30 inches were missing. This poses a fall hazard. Guardrails should be installed where walking surfaces are more than 30 inches above the surrounding grade or surfaces below. Recommend that a qualified contractor install guardrails where missing and per standard building practices.

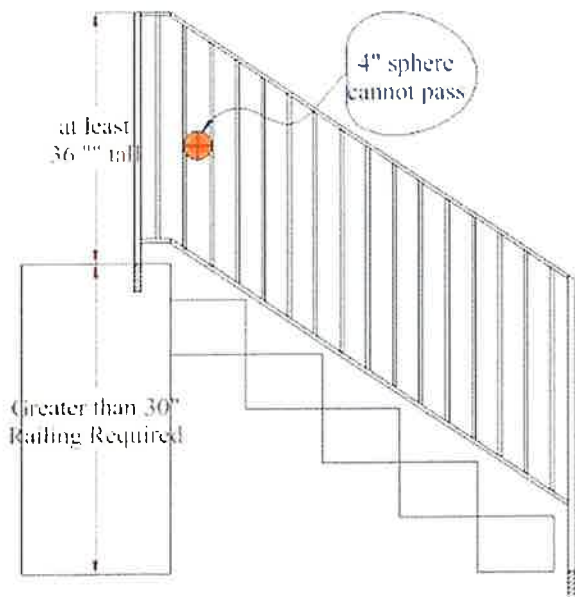


Photo 9-2

Photo 9-1

10) Repair/Replace, Evaluate - Standing water or evidence of past water intrusion was found in many sections of the basement. Recommend that a qualified contractor who specializes in drainage issues evaluate and repair as necessary.



Photo 10-1



Photo 10-2



Photo 10-3



Photo 10-4



Photo 10-5



Photo 10-6



Photo 10-7



Photo 10-8



Photo 10-9



Photo 10-10



Photo 10-11



Photo 10-12



Photo 10-13



Photo 10-14

11) Repair/Replace, Evaluate - Wall is leaning and rotted. Wall should be taken down or repaired. A qualified person should evaluate and make repairs as necessary.



Photo 11-1



Photo 11-2

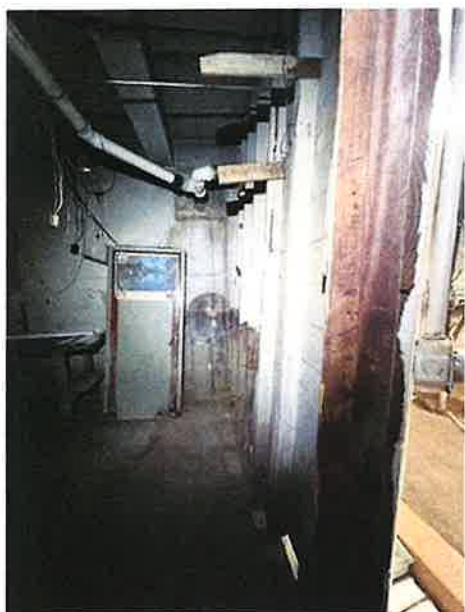


Photo 11-3



Photo 11-4

Roof

Limitations: The following items or areas are not included in this inspection: areas that could not be traversed or viewed clearly due to lack of access; solar roofing components. Any comments made regarding these items are made as a courtesy only. Note that the inspector does not provide an estimate of remaining life on the roof surface material, nor guarantee that leaks have not occurred in the roof surface, skylights or roof penetrations in the past. Regarding roof leaks, only active leaks, visible evidence of possible sources of leaks, and evidence of past leaks observed during the inspection are reported on as part of this inspection. The inspector does not guarantee or warrant that leaks will not occur in the future. Complete access to all roof and attic spaces during all seasons and during prolonged periods of all types of weather conditions (e.g. high wind and rain, melting snow) would be needed to do so. Occupants should monitor the condition of roofing materials in the future. For older roofs, recommend that a professional inspect the roof surface, flashings, appurtenances, etc. annually and maintain/repair as might be required. If needed, the roofer should enter attic space(s). Regarding the roof drainage system, unless the inspection was conducted during and after prolonged periods of heavy rain, the inspector was unable to determine if gutters, downspouts and extensions perform adequately or are leak-free. The inspector does not and is not allowed to lift or pry any shingles to verify flashing or underlayment due to the possibility of damages occurring.

Roof inspection method: Traversed

Condition of roof surface material: Required repair, replacement and/or evaluation (see comments below)

Roof surface material: Synthetic plasticized or rubberized single-ply membrane, Corrugated plastic or fiberglass

Roof type: Flat or low slope

Condition of exposed flashings: Appeared serviceable

Condition of gutters, downspouts and extensions: Appeared serviceable

Gutter and downspout material: Metal

Gutter and downspout installation: Full

12) Repair/Replace, Evaluate - Ponding (pools of standing water) was found at one or more locations on the flat or low-slope roof surface. Even on a flat roof, water should be removed by a drainage system so that any remaining water evaporates within 48 hours after it rains. Prolonged standing water can result in roof leaks. This is a conducive condition for wood-destroying organisms. Recommend that a qualified contractor evaluate and repair as necessary to prevent ponding.



Photo 12-1



Photo 12-2



Photo 12-3



Photo 12-4



Photo 12-5



Photo 12-6

13) Repair/Replace - Extensions for downspouts were missing. Water can accumulate around the building foundation or inside crawl spaces or basements as a result. Recommend that a qualified person install, replace or repair extensions as necessary so rainwater drains away from the structure.



Photo 13-1

Attic and Roof Structure

Limitations: The following items or areas are not included in this inspection: areas that could not be traversed or viewed clearly due to lack of access; areas and components obscured by insulation. Any comments made regarding these items are made as a courtesy only. The inspector does not determine the adequacy of the attic ventilation system. Complete access to all roof and attic spaces during all seasons and during prolonged periods of all types of weather conditions (e.g. high/low temperatures, high/low humidity, high wind and rain, melting snow) would be needed to do so. The inspector is not a licensed engineer and does not determine the adequacy of roof structure components such as trusses, rafters or ceiling beams, or their spacing or sizing.

14) Comment - No accessible attic spaces were found or inspected at this property. The inspector attempts to locate attic access points and evaluate attic spaces where possible. When a home is occupied, such access points may be obscured by stored items or furnishings. Home inspection standards of practice do not require inspectors to move stored items, furnishings or personal belongings. If such access points are found in the future and/or made accessible, a qualified person should fully evaluate those attic spaces and roof structures.

Electric

Limitations: The following items are not included in this inspection: generator systems, transfer switches, surge suppressors, inaccessible or concealed wiring; underground utilities and systems; low-voltage lighting or lighting on timers or sensors. Any comments made regarding these items are as a courtesy only. Note that the inspector does not determine the adequacy of grounding or bonding, if this system has an adequate capacity for the client's specific or anticipated needs, or if this system has any reserve capacity for additions or expansion. The inspector does not operate circuit breakers as part of the inspection, and does not install or change light bulbs. The inspector does not evaluate every wall switch or receptacle, but instead tests a representative number of them per various standards of practice. When furnishings, stored items or child-protective caps are present some receptacles are usually inaccessible and are not tested; these are excluded from this inspection. Receptacles that are not of standard 110 volt configuration, including 240-volt dryer receptacles, are not tested and are excluded. The functionality of, power source for and placement of smoke and carbon monoxide alarms is not

determined as part of this inspection. Upon taking occupancy, proper operating and placement of smoke and carbon monoxide alarms should be verified and batteries should be changed. These devices have a limited lifespan and should be replaced every 10 years. The inspector attempts to locate and evaluate all main and sub-panels. However, panels are often concealed. If panels are found after the inspection, a qualified electrician should evaluate and repair if necessary. The inspector attempts to determine the overall electrical service size, but such estimates are not guaranteed because the overall capacity may be diminished by lesser-rated components in the system. Any repairs recommended should be made by a licensed electrician.

Electric service condition: Appeared serviceable

Primary service type: Overhead

Primary service overload protection type: Circuit breakers

Main disconnect rating (amps): 200

Condition of main service panel: Appeared serviceable

Location of main service panel #A: Office

Location of sub-panel #C: Office

Location of sub-panel #D: Basement

Location of main disconnect: Breaker at top of main service panel

Condition of branch circuit wiring: Required repair, replacement and/or evaluation (see comments below)

Branch circuit wiring type: non-metallic sheathed

15) Safety, Repair/Replace, Evaluate - One or more electric receptacles had no visible ground fault circuit interrupter (GFCI) protection, or the inspector was unable to determine if GFCI protection was present. If not GFCI-protected, receptacles in wet areas pose a shock hazard. Recommend that a qualified electrician evaluate and install GFCI protection if necessary and per standard building practices.

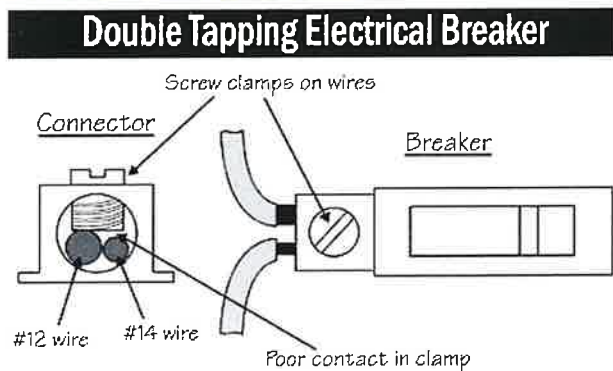




Photo 15-3

16) Safety, Repair/Replace - One or more circuit breakers in panel(s) # were "double tapped," where two or more wires were installed in the breaker's lug. Most breakers are designed for only one wire to be connected. This is a safety hazard since the lug bolt can tighten securely against one wire but leave other(s) loose. Arcing, sparks and fires can result. Recommend that a qualified electrician repair as necessary. For more information, visit:

<https://www.reporthost.com/?DBLTAP>



Many breakers do not allow two wires per connection (double tap). Two wires of different wire gauge sizes (diameter) should never be used.



Photo 16-2

Photo 16-1

17) Safety, Repair/Replace - Neutral and equipment ground wires were bonded (connected) at sub-panel(s) # C and D. This should only occur in the main service panel, not sub-panels, and is a shock hazard. Neutral wires should be attached to a "floating" neutral bar not bonded to the panel, and grounding wires should be attached to a separate grounding bar bonded to the sub-panel. Recommend that a qualified electrician repair per standard building practices. For more information, visit:

<https://www.reporthost.com/?SUBGRND>

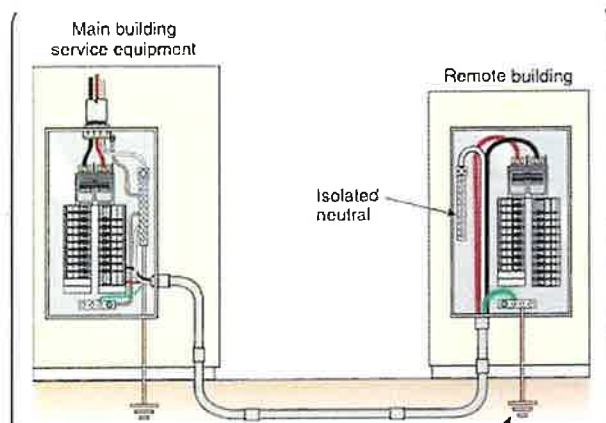


Photo 17-1

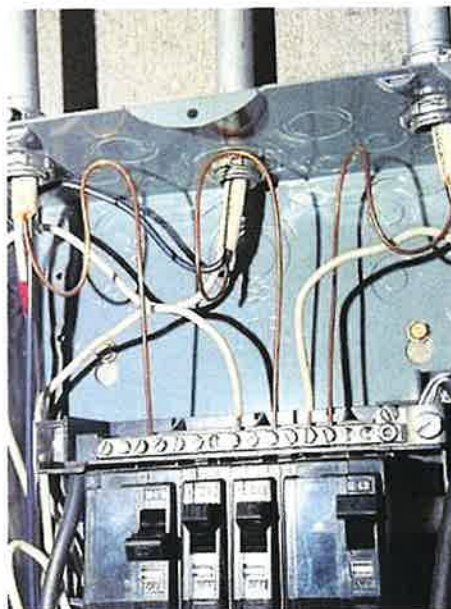


Photo 17-2

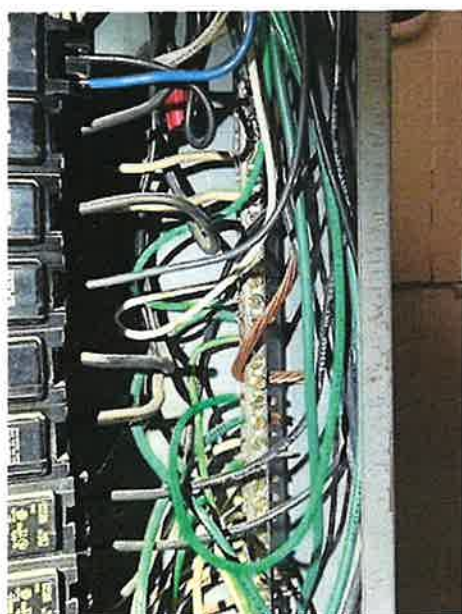


Photo 17-3

18) Safety, Repair/Replace - 3-slot electric receptacles were found with an open ground. Three-slot receptacles should have a hot, a neutral and a ground wire connected. Homeowners often install new 3-slot receptacles on older, 2-wire circuits that only have hot and neutral wires. This is a shock hazard when appliances that require a ground are used with these receptacles.

Where the electric system was installed prior to when grounded circuits were required (1960s), it is permissible to replace 3-slot receptacles with 2-slot receptacles to prevent appliances that require a ground from being plugged in to an ungrounded circuit. However, the client should be aware of this limitation when planning use for various rooms. For newer electric systems, circuits should be repaired so grounded, 3-wire cables provide power to 3-slot receptacles. Recommend that a qualified electrician repair per standard building practices.



Photo 18-1

19) Safety, Repair/Replace - One or more electric receptacles had reverse-polarity wiring, where the hot and neutral wires were reversed. This is a shock hazard. Recommend that a qualified electrician repair as necessary.

***Most outlets in front area of the building

Wiring Design and Protection 1926.404(a)(2)

- Polarity of connections

-- No grounded conductor may be attached to any terminal or lead so as to reverse designated polarity

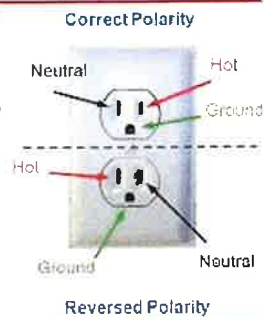


Photo 19-1



Photo 19-2



Photo 19-3



Photo 19-4



Photo 19-5



Photo 19-6

20) Safety, Repair/Maintain - One or more wires inside panel(s) #A were loose, and were not terminated. This poses a safety hazard for shock and/or fire. Recommend that a qualified electrician remove any abandoned wiring or repair as necessary. For example, by trimming wires to length and installing wire nuts.



Photo 20-1

21) Repair/Maintain, Evaluate - The legend for circuit breakers or fuses in panel(s) # was missing, incomplete, illegible or confusing. This is a potential shock or fire hazard in the event of an emergency when power needs to be turned off. Recommend correcting the legend so it's accurate, complete and legible. Evaluation by a qualified electrician may be necessary.



Photo 21-1

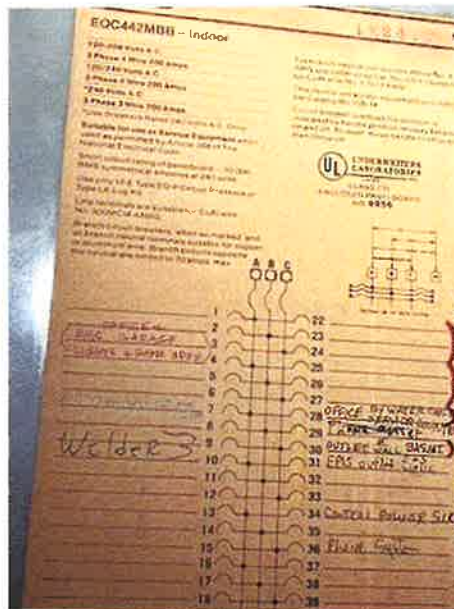


Photo 21-2



Photo 21-3



Photo 21-4

22) Comment - The functionality of, power source for and placement of smoke alarms is not determined as part of this inspection. Smoke alarms should be installed in each bedroom, in hallways leading to bedrooms, on each level and in attached garages. They have a limited lifespan and should be replaced every 10 years. For home buyers, batteries in smoke alarms should be changed when taking occupancy. Batteries should be replaced annually in the future.

Plumbing / Fuel Systems

Limitations: The following items are not included in this inspection: private/shared wells and related equipment; private sewage disposal systems; hot tubs or spas; main, side and lateral sewer lines; gray water systems; pressure boosting systems; trap primers; incinerating or composting toilets; fire suppression systems; water softeners, conditioners or filtering systems; plumbing components concealed within the foundation or building structure, or in inaccessible areas such as below tubs; underground utilities and systems; overflow drains for tubs and sinks; backflow prevention devices, propane tanks or gas lines. Any comments made regarding these items are as a courtesy only. Note that the inspector does not operate water supply or shut-off valves due to the possibility of valves leaking or breaking when operated. The inspector does not test for lead in the water supply, the water pipes or solder, does not determine if plumbing and fuel lines are adequately sized, and does not determine the existence or condition of underground or above-ground fuel tanks.

Condition of service and main line: Appeared serviceable

Water service: Public

Location of main water shut-off: Basement

Service pipe material: Copper, Galvanized steel

Condition of supply lines: Required repair, replacement and/or evaluation (see comments below)

Supply pipe material: Galvanized steel, PVC plastic

Condition of drain pipes: Required repair, replacement and/or evaluation (see comments below)

Drain pipe material: Galvanized steel

Condition of waste lines: Required repair, replacement and/or evaluation (see comments below)

Waste pipe material: Plastic, Cast iron

Vent pipe condition: Appeared serviceable

Vent pipe material: Cast iron

Sump pump installed: Yes

Condition of sump pump: Appeared serviceable

23) Repair/Replace, Evaluate, Monitor - Stains were found in one or more sections of drain and/or waste lines, but no active leaks were found near the stains. This may indicate that past leaks have occurred. Consult with the property owner about this, and either monitor these areas in the future for leaks or have a qualified plumber evaluate and repair as necessary.



Photo 23-1

24) Repair/Replace, Evaluate - Evidence of leaks or past leaks were found in water supply pipes or fittings. A qualified plumber should evaluate and repair as necessary.

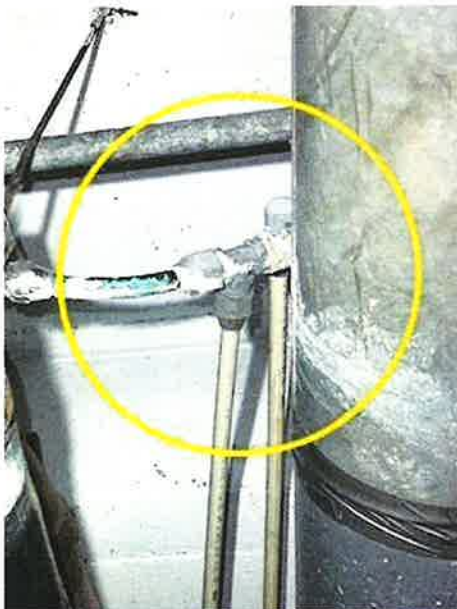


Photo 24-1

25) Repair/Replace, Evaluate - Leaks or corrosion were found in drain pipes or fittings. A qualified plumber should evaluate and repair as necessary.



Photo 25-1

26) Repair/Replace, Evaluate - Rust or corrosion was found in some drain and/or waste pipes or fittings. This can indicate past leaks, or that leaks are likely to occur in the future. Recommend that a qualified plumber evaluate and repair as necessary.



Photo 26-1



Photo 26-2



Photo 26-3

27) Repair/Replace, Evaluate - Waste line was open in one area. Sewer gases or even leaks can occur. Recommend that a qualified plumber evaluate and repair as necessary and per standard building practices.



Photo 27-1

28) Comment - No battery backup system was found for the sump pump. If the power goes out during heavy rains, the sump pump won't be able to eliminate accumulated water. Consider installing a battery backup system for the sump pump.

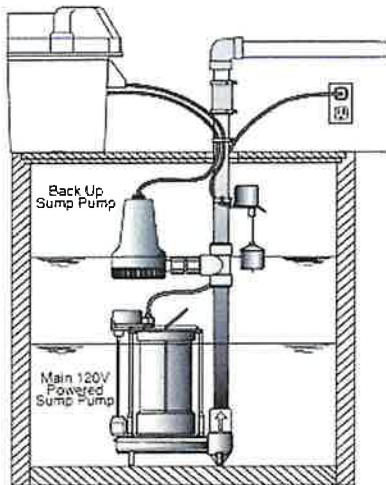
Typical Installation Diagram

Photo 28-1

Water Heater

Limitations: Evaluation of and determining the adequacy or completeness of the following items are not included in this inspection: water recirculation pumps; solar water heating systems; Energy Smart or energy saver controls; catch pan drains. Any comments made regarding these items are as a courtesy only. Note that the inspector does not provide an estimate of remaining life on water heaters, does not determine if water heaters are appropriately sized, or perform any evaluations that require a pilot light to be lit or a shut-off valve to be operated.

Condition of water heater: Appeared serviceable

Type: Tank

Heating, Ventilation and Air Condition (HVAC)

Limitations: The following items are not included in this inspection: humidifiers, dehumidifiers, electronic air filters; solar, coal or wood-fired heat systems; thermostat or temperature control accuracy and timed functions; heating components concealed within the building structure or in inaccessible areas; underground utilities and systems; safety devices and controls (due to automatic operation). Any comments made regarding these items are as a courtesy only. Note that the inspector does not provide an estimate of remaining life on heating or cooling system components, does not determine if heating or cooling systems are appropriately sized, does not test coolant pressure, or perform any evaluations that require a pilot light to be lit, a shut-off valve to be operated, a circuit breaker to be turned "on" or a serviceman's or oil emergency switch to be operated. It is beyond the scope of this inspection to determine if furnace heat exchangers are intact and free of leaks. Condensation pans and drain lines may clog or leak at any time and should be monitored while in operation in the future. Where buildings contain furnishings or stored items, the inspector may not be able to verify that a heat source is present in all "liveable" rooms (e.g. bedrooms, kitchens and living/dining rooms).

General heating system type(s): Forced air

General heating distribution type(s): Ducts and registers

Condition of forced air heating/(cooling) system: Appeared serviceable

Forced air heating system fuel type: Natural gas

Forced air heating system manufacturer: Ducane

Location of forced air furnace: Basement

Condition of furnace filters: Required washing or cleaning

Location for forced air filter(s): At base of air handler

Condition of forced air ducts and registers: Appeared serviceable

Condition of burners: Appeared serviceable

Condition of venting system: Appeared serviceable

Condition of combustion air supply: Appeared serviceable, Required repair, replacement and/or evaluation (see comments below)

Type of combustion air supply: Intake duct, Vent(s) to exterior

Condition of cooling system and/or heat pump: Appeared serviceable

Cooling system and/or heat pump fuel type: Electric

Manufacturer of cooling system and/or heat pump: Ducane

29) Repair/Maintain, Evaluate - No indication of any past servicing or it has been too long. Recommend that a qualified HVAC contractor inspect, clean,

and service this system, and make repairs if necessary. For safety reasons, and because this system is fueled by gas or oil, this servicing should be performed annually in the future. Any needed repairs noted in this report should be brought to the attention of the HVAC contractor when it's serviced.



Photo 29-1

30) Maintain - Recommend that home buyers replace or clean HVAC filters upon taking occupancy depending on the type of filters installed. Regardless of the type, recommend checking filters monthly in the future and replacing or cleaning them as necessary. How frequently they need replacing or cleaning depends on the type and quality of the filter, how the system is configured (e.g. always on vs. "Auto"), and on environmental factors (e.g. pets, smoking, frequency of house cleaning, number of occupants, the season).



Photo 30-1

Bathrooms, Laundry and Sinks

Limitations: The following items are not included in this inspection: overflow drains for tubs and sinks; heated towel racks, saunas, steam generators, clothes washers, clothes dryers. Any comments made regarding these items are as a courtesy only. Note that the inspector does not determine the adequacy of washing machine drain lines, washing machine catch pan drain lines, or clothes dryer exhaust ducts. The inspector does not operate water supply or shut-off valves for sinks, toilets, bidets, clothes washers, etc. due to the possibility of valves leaking or breaking when operated. The inspector does not determine if shower pans or tub and shower enclosures are water tight, or determine the completeness or operability of any gas piping to laundry appliances.

Location #A: Half bath, first floor

Location #B: Half bath, first floor

Condition of counters: Appeared serviceable

Condition of cabinets: Appeared serviceable

Condition of flooring: Appeared serviceable

Condition of sinks and related plumbing: Required repair, replacement and/or evaluation (see comments below)

Condition of toilets: Appeared serviceable

31) Repair/Replace - The sink drain pipe at location(s) #A used an S-trap rather than a P-trap, or no P-trap was visible. Siphons and sudden flows of water in S-Traps can drain all the water out of the trap, leaving it dry. Sewer gases can then enter living areas. Recommend that a qualified plumber repair per standard building practices.



Photo 31-1

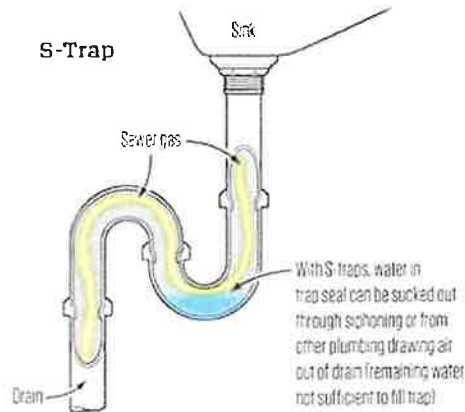


Photo 31-2

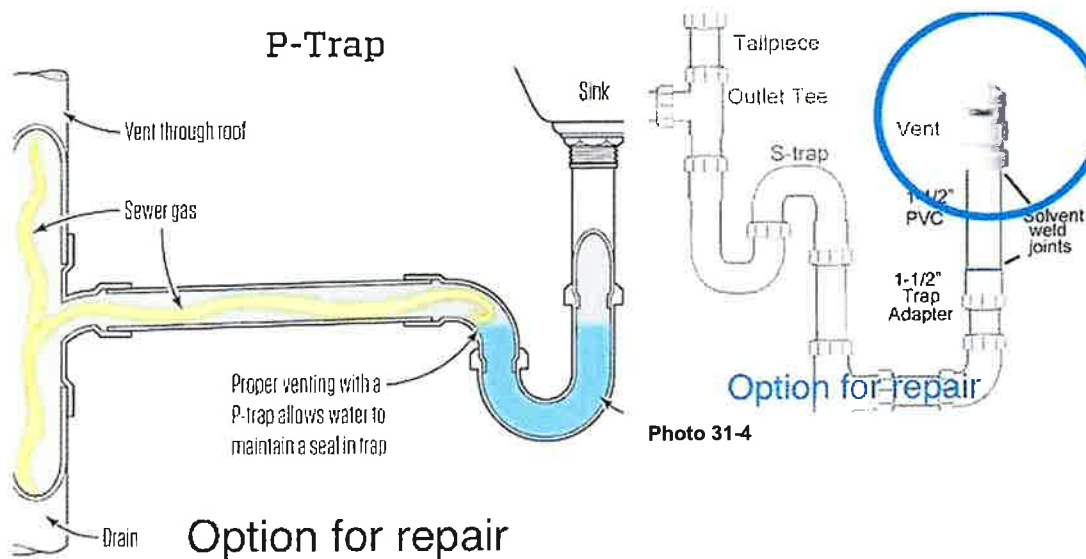


Photo 31-4

Photo 31-3

32) Repair/Maintain, Evaluate - Evidence of past leaks observed on bathroom sink drain, including staining and residue around fittings. Recommend monitoring for active leaks and addressing with tightening or replacement if necessary.



Photo 32-1

Interior, Doors and Windows

Limitations: The following items are not included in this inspection: security, intercom and sound systems; communications wiring; central vacuum systems; elevators and stair lifts; cosmetic deficiencies such as nail-pops, scuff marks, dents, dings, blemishes or issues due to normal wear and tear in wall, floor and ceiling surfaces and coverings, or in equipment; deficiencies relating to interior decorating; low voltage and gas lighting systems. Any comments made regarding these items are as a courtesy only. Note that the inspector does not evaluate any areas or items which require moving stored items, furnishings, debris, equipment, floor coverings, insulation or similar materials. The inspector does not test for asbestos, lead, radon, mold, hazardous waste, urea formaldehyde urethane, or any other toxic substance. Some items such as window, drawer, cabinet door or closet door operability are tested on a sampled basis. The client should be aware that paint may obscure wall and ceiling defects, floor coverings may obscure floor defects, and furnishings may obscure wall, floor and floor covering defects. If furnishings were present during the inspection, recommend a full evaluation of walls, floors and ceilings that were previously obscured when possible. Carpeting and flooring, when installed over concrete slabs, may conceal moisture. If dampness wicks through a slab and is hidden by floor coverings that moisture can result in unhygienic conditions, odors or problems that will only be discovered when/if the flooring is removed. Determining the cause and/or source of odors is not within the scope of this inspection.

Condition of exterior entry doors: Appeared serviceable

Exterior door material: Glass panel

Condition of interior doors: Appeared serviceable

Condition of windows and skylights: Appeared serviceable

Type(s) of windows: Vinyl

Condition of walls and ceilings: Appeared serviceable

Wall type or covering: Drywall

Ceiling type or covering: Drywall, Tiles

Condition of flooring: Appeared serviceable

33) Repair/Maintain, Monitor - One or more exterior doors had evidence of leaks. A qualified person should evaluate and make repairs as necessary.



Photo 33-1

34) Monitor - Stains were found in one or more ceiling areas. However, no elevated levels of moisture were found. The stain(s) may be due to past roof and/or plumbing leaks. Consult with the property owner and monitor the stained area(s) in the future, especially after heavy or prolonged rain. If elevated moisture is found in the future, then recommend that a qualified contractor evaluate and repair as necessary.



Photo 34-1



Photo 34-2



Photo 34-3



Photo 34-4 Basement

Thank you for choosing Bortner Home Inspections,LLC.